

TOWN OF EAST WINDSOR ENGINEERING & PUBLIC WORKS

Mailing Address: 11 Rye Street, Broad Brook, CT 06016

Physical Address: 6 Woolam Road, East Windsor, CT 06088

Leonard J. Norton, P.E. - Director of Public Works/Town Engineer- Phone (860) 292-7073, Fax (860) 292-7072

RFP Documents – Wapping Road Bridge Over Ketch Brook – Bridge No. 04501

East Windsor, CT – March 16, 2015

East Windsor Request for Proposal

Proposals will be submitted to the Director of Public Works/Town Engineer, 11 Rye Street, Broad Brook, CT 06016, by 11:00am Friday, April 10, 2015. The project involves the repair of scaling and honeycombing on the wing walls, underdeck and fascia beam on the subject bridge. Work to be as noted in the Conn. DOT Bridge Safety Inspection Report dated October 22, 2014, copies attached.

INFORMATION FOR BIDDERS

Tax Exemption – Purchase of materials are exempt from Connecticut sales tax.

Site Inspection – Each proposer shall satisfy himself as to the nature and location of the work, the general and local conditions and all other matters which can in any way affect the work or the cost of successfully performing the work. A mandatory Pre-Bid site inspection will be conducted on Monday, March 30, 2015 at 9:00AM.

Proposal – Each proposer shall fill in all blank spaces of the PROPOSAL FORM in ink with no changes made to the form. Each bid must be in a sealed envelope addressed to the Director of Public Works/Town Engineer, 11 Rye Street, Broad Brook, CT 06016.

Right to Reject Proposals – The town reserves the right to reject any or all proposals if it is the Town's best interest to do so. Proposals submitted or received after the scheduled closing time for receipt of bids will be rejected.

Acceptance of Proposals – Acceptance of proposal will be by notice of the Town Engineer.

Performance Bond – Required

RFP FORM

The undersigned declares he has carefully examined the RFP Documents and location(s) of work for the above referenced project and proposes to perform the work at the following UNIT Prices:

Item No	Brief Description Of Work	Est Quant	Unit Price	Total Cost
1	Concrete repair of scaling and honeycombing	Lump Sum	\$	\$

TOTAL PROPOSAL = \$ _____

WRITTEN _____ DOLLARS

AND _____ CENTS

It is understood that the Lump Sum will control any contract awarded based on this proposal.

The above prices include the cost of all work to complete the project whether specifically stated or not. Cost of mobilization and demobilization, miscellaneous clearing and grubbing, protection of items and any other work required to complete the project shall be included in the price stated above.

The time of completion for the project is 30 days from the Notice to Proceed date.

The undersigned certifies that he has not colluded with any individual or firm that has a competitive interest in responding to this RFP.

Name of Firm: _____

Mailing Address: _____

Phone Number: _____

Signature of Proposer: _____ Title: _____

Name and Title (typewritten): _____

GENERAL CONDITIONS

Site Investigation – The contractor shall thoroughly investigate the site of the work and acquaint himself with all available information concerning the project. Failure to do so shall not relieve him from responsibility for properly estimating the difficulty or cost of successfully completing the project.

Measurements – The Contractor shall be responsible for any measurements.

Protection of Material and Work – The Contractor shall at all times protect and preserve all materials, supplies, equipment, property and completed work and he will be held responsible for any loss or damage by any cause including the elements.

Insurance – The Contractor shall have the required insurance which shall be maintained in force until all work performed on this project is completed. All policies shall hold harmless the Town of East Windsor and the Town and its agents shall be named additional insured. Each insurance certificate shall contain a statement by the insurance carrier not to cancel the policy except upon thirty – (30) days notice to the Town.

Schedule of Insurance:

Manufacturer's and Contractor's Liability:

Personal Injury Liability	\$1,000,000 Per Person
	\$1,000,000 per occurrence
Property Damage	\$1,000,000 per occurrence

Automotive Liability:

Personal Injury	\$1,000,000 per person
	\$1,000,000 per occurrence
Property Damage Liability	\$1,000,000 per occurrence

Town's Protective Liability:

Personal Injury Liability	\$1,000,000 per person
	\$1,000,000 per occurrence
Property Damage Liability	\$1,000,000 per occurrence

The Contractor shall also carry Worker's Compensation Insurance as required by the State of Connecticut and any other applicable laws and regulations for all employees engaged in work under the Contract.

Damages – The Contractor shall pay and make good repair to all losses or damages arising from any cause connected with the Contract, and shall indemnify and save harmless the Town from any and all liability and responsibility for any loss, damage or injury suffered in any way arising out of the Contract and shall defend any suit which may be brought against the Town or its agents, connected with the work under the Contract and shall pay all costs or arising out of the Contract.

Extension of Time – If conditions beyond control of the Contractor occur and cause delay, the Contractor may request from the Town Engineer an extension of time, clearly stating the reason for such request. The Engineer may grant such an extension in writing; however, this shall not be deemed to relieve the Contractor from his responsibility under this contract.

Measures to Protect the Public – The Contractor shall provide and maintain warning signs, lights, signal devices and barricades at appropriate locations to warn the public of any damages associated with the project and to prevent access to dangerous areas and shall comply with reasonable requests of the Town Engineer for additional measures to protect the public.

Clean Up – Before the work is considered complete, the Contractor shall thoroughly clean all work areas, and remove all rubbish, debris, unused and surplus material resulting from the project, leaving the premises in a condition satisfactory to the Town Engineer. Any disturbed lawn areas shall be restored to as good or better condition to that existing before the project. If the lawn restoration is done late in the year the Contractor shall be required to complete the work to establish an acceptable lawn in Spring of the following year.

Inspection – All materials and workmanship shall be subject to inspection by the Town Engineer or his representative at any time during storage on-site or construction. The Town has the right to reject defective material and workmanship or require its correction. Rejected workmanship shall be satisfactorily corrected while rejected materials shall be promptly removed from the site.

Changes in Contract Documents, Scope of Work – The Town Engineer reserves the right to make changes to the contract documents or change the scope of work at any time before or during the project.

Commencement, Prosecution and Completion – The Contractor shall start work under this contract within 7 days of the Notice to Proceed date, and he shall prosecute the work faithfully to completion, including final clean-up, within the specified time project.

Payments – For a contract under 60 day's duration, payment shall be made within 30 days of completion of the work. For a contract of 60 days duration or more, partial payments shall be made within 30 days of the receipt of a certified estimate of work performed during the month, approved by the Town Engineer.

Retainage – a 10% retainage shall be held from payments made to the Contractor if there is work remaining such as lawn restoration, which cannot be completed due to the season.

SPECIAL CONDITIONS

Time for Completion – 30 days starting from the Notice to Proceed.

Permits – Not required

Work on Private Property, Easements – N/A

Subsurface Information – None available.

CONSTRUCTION REQUIREMENTS

General – It is the Town's intent to secure work which, at a minimum, will meet the requirements of Conn DOT "Standard Specifications for Roads, Bridges and Incidental Construction, Form 816, 2004".

No BMM's
No Projects

STRUCTURE NO. 04501

WAPPING ROAD
over
KETCH BROOK
EAST WINDSOR

or 12/15/14

Recheck score
Rating.

Routine , Special & Underwater Inspection

on

10/22/2014

1996 Score
Report has

Item 113-③

Inspected by Collins - 52
for Area 3

TEAM:	Forwarded to TE3 Amy Stula	Date 12/4/2014
TE3:	Reviewed by TE3 Amy Stula	Date 12-11-14
	BMM Required	No
	Town Bridge	Yes
	Rating <= 5 (Items 58, 59, 60 or 62)	No
	Rating Change 2 or More Values	No
	Forwarded to Supervisor Steve Keedy	Date 12-17-14
	Forwarded to "To Be Copied Drawer" <input type="checkbox"/>	Date
	Date BRI-19 Entered	12-11-14
SUPERVISOR:	Reviewed by Supervisor	Date
SUPPORT:	Date Copies Made 12/5/14	BMM N
	Scanned By: [Signature]	Date Scanned
		PDF Box No

NBI: Yes

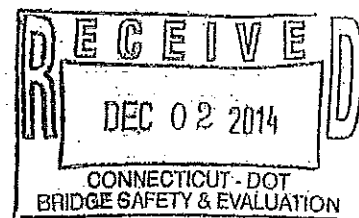
NHS: No



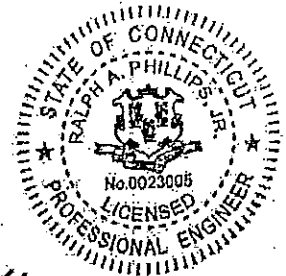
**CONNECTICUT
DEPARTMENT OF TRANSPORTATION**

**STATE PROJECT NO. 170-3163
BRIDGE SAFETY INSPECTION**

**BRIDGE NO. 04501
WAPPING ROAD
OVER
KETCH BROOK
EAST WINDSOR, CONNECTICUT**



**ROUTINE & UNDERWATER INSPECTION
OCTOBER 22, 2014**



Prepared By:

**COLLINS
ENGINEERS INC**
101 HAMMER MILL ROAD
ROCKY HILL, CT 06067

Garg Consulting Services, Inc.
ENGINEERS • CONSULTANTS • CONSTRUCTION MANAGERS
2096A SILAS DEANE HWY
ROCKY HILL, CT 06067

59.

SUPERSTRUCTURE:

Reinforced Concrete Frame.

Overall Rating:

6

Rating

BEARING DEVICES:	N	-
STRINGERS:	N	See 'Girders' item.
GIRDERS:	6	The underside of the concrete frame has up to full length x 6' wide x ¼" deep honeycombing with efflorescence and hairline map cracks along both fascias and intermittent light honeycombing throughout. The west fascia has full length x 1' high x 3" deep scale. Both fascias have full length x 18" high hairline map cracking and honeycombing up to ¼" deep. The overall concrete deterioration at the underside of the frame is 15.8%. See Sheet 13 & 14 and Photos 9, 12 & 13.
FLOOR BEAMS:	N	-
TRUSSES-GENERAL:	N	-
TRUSSES-PORTALS:	N	-
TRUSSES-BRACING:	N	-
PAINT:	N	-
RUST:	N	-
MACHINERY MOV SPAN:	N	-
RIVETS & BOLTS:	N	-
WELDS - CRACKS:	N	-
TIMBER DECAY:	N	-
CONCRETE CRACKING:	6	See 'Girders' item.
COLLISION DAMAGE:	8	-
MEMBER ALIGNMENT:	8	-
DEFLECT. UNDER LOAD:	N	(N) Normal (E) Excessive
VIBRATION UNDER LOAD:	N	(N) Normal (E) Excessive
STAND PIPES:	N	-
BARREL LADDERS:	N	-

ARE BARREL LADDERS OSHA COMPLIANT? NA

60.

SUBSTRUCTURE:

Reinforced Concrete Frame legs with wingwalls.
The bridge was rehabilitated in December 2006. This work addressed undermining along both abutments with exposed and corroded steel H-Piles by placing riprap and a stepped footing.

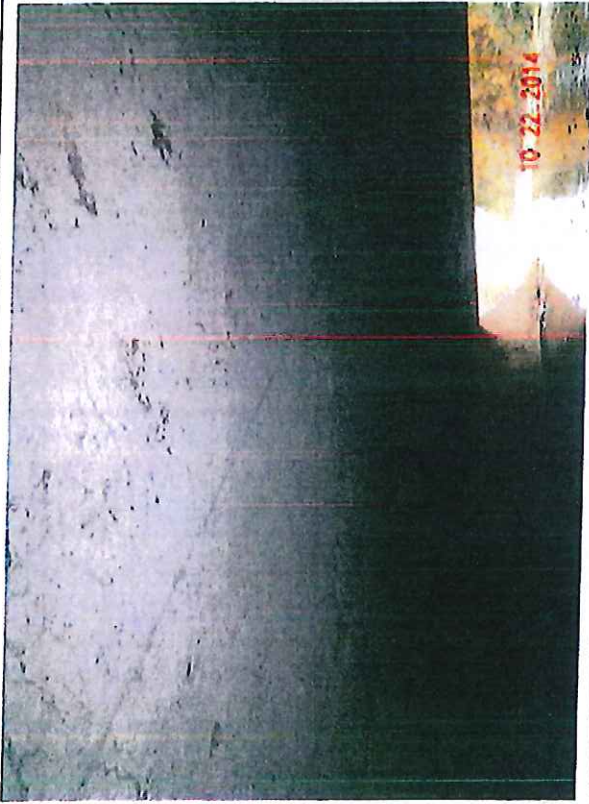

Overall Rating:

6

Rating

ABUTMENTS-STEM:	6	Both frame legs above the step footing exhibit random honeycombing up to 1" deep and concrete patches. The South Abutment has hairline cracks with efflorescence. See Sheets 17 & 18 and Photo 14 & 15.
ABUTMENTS-BACKWALL:	N	
ABUTMENTS-FOOTINGS:	7	Both Abutment stems are founded on 7-steel H-Piles spaced approximately 5-feet on center. Stepped footings and riprap were placed to repair the undermining noted in the 2006 inspection. See Sheets 17 & 18.
ABUTMENTS-SETTLEMENT:	8	
ABUTMENTS-WINGWALLS:	5	The wingwalls are not founded on steel H-piles. All of the wingwalls exhibit map cracking, efflorescence, and honeycombing up to 1/2" deep along the face. The Southwest Wingwall has an edge spall (2.5' long x 6" wide x 6" high) along the top and scaling (up to 5' long x full width x 1" deep) along the top. The Southeast Wingwall exhibits scale (up to 2" deep x full length x full width) along the top that extends down the faces up to 6" with exposed rebar. The Northeast Wingwall has scale (5' long x full width x up to 2.5" deep) along the top that extends down the face up to 1". Adjacent to the scale is two spalls up to 2' long x up to 8" wide x 5" deep with exposed rebar. The Northwest Wingwall has an edge spall (1.2' long x 5" wide x 2" deep) along the top and scale (4' long x 6" wide x 1.5" deep) along the top. See Sheets 17 & 18 and Photos 16-19.
PIERS/BENTS-CAPS:	N	
PIERS/BENTS-PILE BENT:	N	
PIERS/BENTS-COLUMNS:	N	
PIERS/BENTS-FOOTING:	N	
PIERS/BENTS-SETTLEMENT:	N	
EROSION-SCOUR:	6	Riprap up to 1.5' diameter is in place along both abutments and is covered with concrete overpour from the step footings. Mudline elevations remain relatively unchanged (+/-0.5') along the abutments since the 2010 inspection. There is an isolated area of degradation up to 1.2' at the west end of the North Abutment. The elevations could not be compared to the 2012 inspection due to incomplete soundings taken during the 2012 inspection. See Sheets 15-18.
CONCRETE CRACK-SPALL:	5	See 'Abutments-Stem' & 'Abutments-Wingwalls' items.
STEEL CORROSION:	6	No Steel Corrosion was observed due to the rip rap and concrete overpour at the footings which has covered the steel H-piles. Rating based on previous rating.
PAINT:	N	
TIMBER DECAY:	N	
COLLISION DAMAGE:	8	
DEBRIS:	N	

Bridge No.	04501	Inspected by:	C. Perry (Collins)
Town:	East Windsor	Inspected by:	J. Figueroa (Collins), C. Sorensen (Garg)
Feature Carried:	Wapping Road	Date Inspected:	10/22/2014
Feature Crossed:	Ketch Brook	Project No.:	170-3163

	
<p>Photo # 9: Underside of Deck, Looking Northeast</p>	<p>Photo # 10: West Bridge Rail, Looking Southwest</p>

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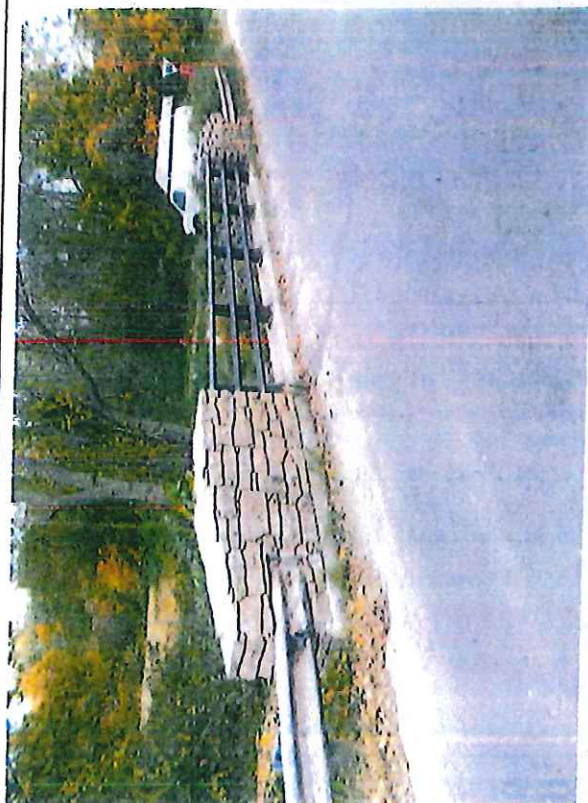


Photo # 11: East Bridge Rail, Looking Southeast

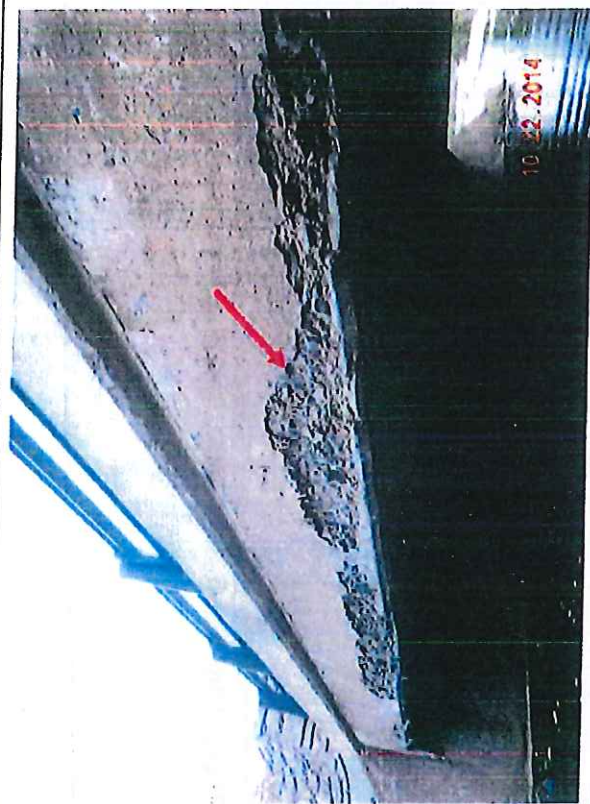


Photo # 12: West Fascia, Looking Northeast

Note: Delamination and spall up to 1' high x 3" deep

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Feature Crossed:	Ketch Brook	Project No.:	170-3163



Photo # 13: Underside of Deck at West Fascia, Looking North



Note: Map cracking adjacent to delamination and spalls on fascia.



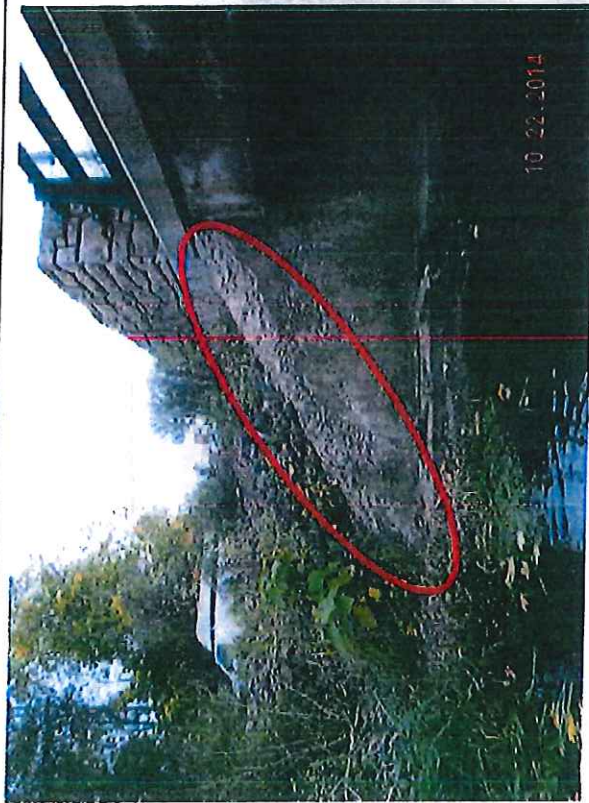

Photo # 14: South Abutment, Looking Southwest

Prepared by:
COLLINS
ENGINEERS

Bridge No.	04501	Inspected by:	C. Perry (Collins)
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Feature Carried:	Wapping Road	Date Inspected:	10/22/2014
Feature Crossed:	Ketch Brook	Project No.:	170-3163

	
<p>Photo # 15: North Abutment, Looking Northwest</p>	<p>Photo # 16: Southwest Wingwall, Looking South</p>

Bridge No.	04501	Inspected by:	C. Perry (Collins)
Town:	East Windsor	Inspected by:	J. Figueroa (Collins), C. Sorensen (Garg)
Feature Carried:	Wapping Road	Date Inspected:	10/22/2014
Feature Crossed:	Ketch Brook	Project No.:	170-3163

 <p>Photo # 17: Southeast Wingwall, Looking East</p> <p>Note: Scale with exposed rebar along the top of the wingwall.</p>	 <p>Photo # 18: Northwest Wingwall, Looking North</p> <p>Note: Scale along top of wingwall.</p>
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Bridge No.	04501	Inspected by:	C. Perry (Collins)
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Feature Carried:	Wapping Road	Date Inspected:	10/22/2014
Feature Crossed:	Ketch Brook	Project No.:	170-3163



Photo # 19: Northeast Wingwall, Looking Northwest

Note: Scale and spalls with exposed rebar.



Photo # 20: Northwest Embankment, Looking West

Note: Minor erosion and undercutting of embankment.